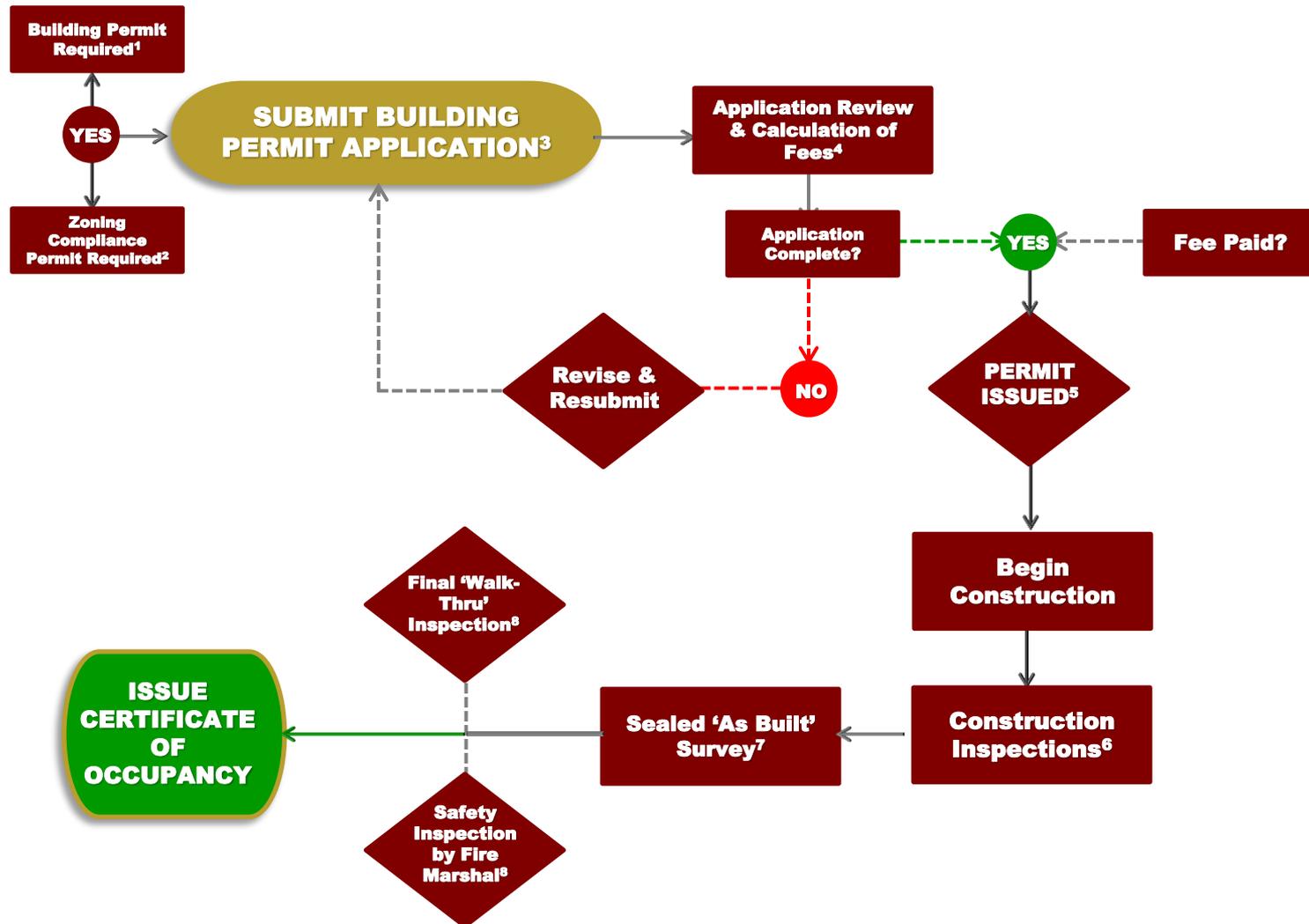


Building Permit Application Process



The Building Permit Application Process

Building permits are required for most activities related to the construction, reconstruction, alteration, repair, removal, demolition or relocation of any building or structure. To read the complete regulations regarding required permits, refer to North Carolina General Statutes ([NCGS 160A-417](#)).

The numbered sections below correspond to the Process Flow Chart (see reverse):

1. Building Permit Required - Permits are required for repairs and new construction for the following items listed below. Please note: This list is not inclusive of all activities that may require a building permit. Consult with the Building Permits & Inspections Department before proceeding with any new construction or change to an existing structure. For repairs and/or replacements, a Trade Permit is required for either residential or commercial work.
 - 1) Homes
 - 2) Garages & Carports
 - 3) Additions
 - 4) Remodeling (including basements)
 - 5) Accessory Building, Structural Repairs, and Alterations
 - 6) Decks, Screened Porches, Patio Covers, and Patio Enclosures
 - 7) Pools, Spas, and Hot Tubs
 - 8) Commercial New Construction
 - 9) Commercial Renovations and Repairs
2. Zoning Compliance Permit - For most new construction and additions to existing buildings, a Zoning Compliance Permit must be issued before a building permit can be approved. Please consult with the Planning Director.
3. Building Permit Application Requirements - For the convenience of applicants, the department has compiled Permit Application Packets which contain necessary documentation for obtaining specific permits. There may be additional approvals required *prior to* application for the building permit. These include Granville County Fire Marshal, SGWASA, and NCDOT.
4. Application Review & Calculation of Fees – The Building Permits & Inspections Department reviews the application for completeness and calculates total fees based on the City of Creedmoor [Fee & Rate Schedule](#). If the application contains errors or discrepancies, the applicant will make the necessary revisions and resubmit.
5. Permit Issued - Upon acceptance of complete application and fee payment, a permit is issued and the applicant may begin construction.
6. Construction Inspections – The applicant must schedule an inspection at least 1 day in advance for a next-day inspection. The Building Codes Administrator will inspect the various elements of construction including structural, mechanical, electrical, plumbing, HVAC, and others to ensure compliance with the State Building Code. This step does not apply to Trades Permits, which will require only a final inspection.
7. Sealed 'As Built' Survey – For Commercial New Construction, the applicant must provide sealed and final construction drawings – as built – prior to the final inspections and before a Certificate of Occupancy can be issued.
8. Final Inspections - The Building Codes Administrator and the Granville County Fire Marshal will conduct a final 'walk-thru' and safety inspection prior to issuance of the Certification of Occupancy.